

© 2024 O'CONNELL ROBERTSON, INC. 11/15/2024 4:27:09 PM Autodesk Docs://hays CISD - Bond Package 6/232302_21_Bond Package 6_Hemphill ES HVAC Improvements_Arch.rvt



O'CONNELL ROBERTSON

Architecture - Engineering - Interiors
811 BARTON SPRINGS ROAD, SUITE 900
AUSTIN, TEXAS 78704

Dunaway Associates

Structural Engineer
5707 Southwest Parkway , Building 2, Suite 250
Austin , Texas 78735

Pape-Dawson Engineers

Civil Engineer
10801 North Mopac Expressway , Building 3, Suite 200
Austin , Texas 78759

Counihan & Associates

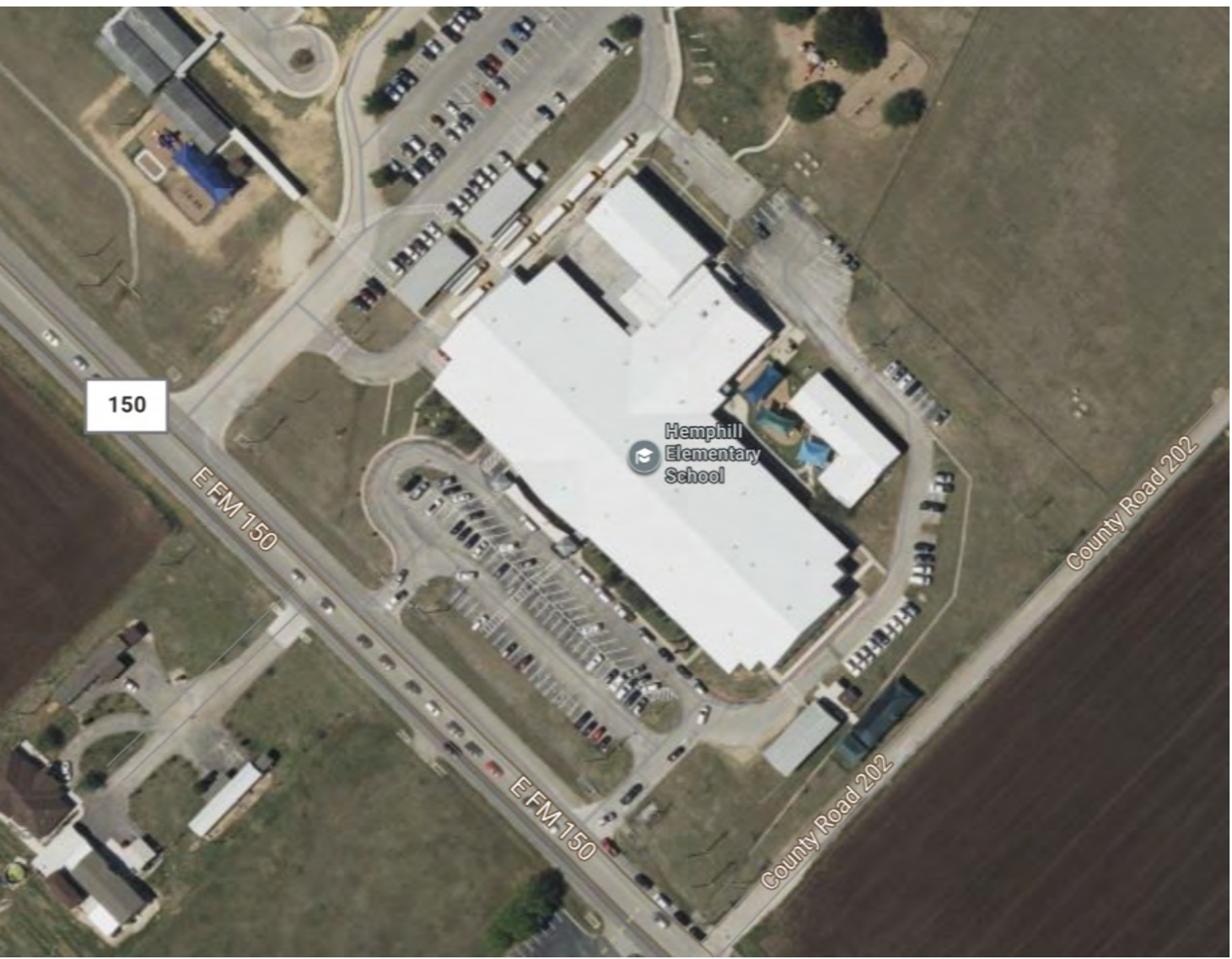
Food Service
500 E. Whitestone Blvd. ,
Cedar Park , Texas 78630

DRAWING INDEX

GENERAL - PACKAGE NOTES	
G0.0	COVER SHEET - PACKAGE
G1.01	ARCHITECTURAL NOTES, SYMBOLS AND ABBREVIATIONS
GENERAL	
C-G1.0	COVER SHEET
ARCHITECTURAL	
C-A3.0	COMPOSITE FLOOR PLAN
FIRE PROTECTION	
C-FP1.1	FIRE PROTECTION NOTES, SYMBOLS AND ABBREVIATIONS
FOOD SERVICE	
C-FS1.00	FOOD SERVICE WALK-IN COOLER AND FREEZER LAYOUT AND SCHEDULE
C-FS1.01	FOOD SERVICE WALK-IN COOLER AND FREEZER PLUMBING ROUGH-INS AND SCHEDULE
C-FS1.02	FOOD SERVICE WALK-IN COOLER AND FREEZER ELECTRICAL ROUGH-INS AND SCHEDULE
C-FS2.00	FOOD SERVICE WALK-IN COOLER AND FREEZER DETAILED DRAWINGS
MECHANICAL	
C-M1.1	MECHANICAL NOTES, SYMBOLS AND ABBREVIATIONS
C-M3.1	MECHANICAL PLANS - AREA B
C-M7.1	MECHANICAL CONTROLS
ELECTRICAL	
C-E1.1	ELECTRICAL NOTES, SYMBOLS AND ABBREVIATIONS
C-E3.1	ELECTRICAL PLANS - AREA B
C-E7.1	ELECTRICAL ONE-LINE DIAGRAM & SCHEDULES

HAYS CISD

21003 IH 35 FRONTAGE ROAD ,
KYLE , TX 78640



SITE C - HEMPHILL ES

3995 E. FM150,
KYLE, TX 78640



SITE F - TOM GREEN ES

1301 OLD GOFORTH RD,
BUDA, TX 78610



SITE D - ELM GROVE ES

801 FM1626,
BUDA, TX 78610



SITE G - KYLE ES

500 BLANCO ST,
BUDA, TX 78640



SITE E - FUENTES ES

901 PHILOMENA DR,
KYLE, TX 78640



SITE H - PFLUGER ES

4951 MARSH LN,
BUDA, TX 78610

LIST OF ALTERNATES

SITE E - FUENTES ES	
ALTERNATE #1	ASPHALT REPLACEMENT
SITE F - TOM GREEN ES	
ALTERNATE #1	ASPHALT REPLACEMENT
SITE H - PFLUGER ES	
ALTERNATE 1	FULL REROOF IN LIEU OF ROOF OVERLAY, UPGRADE INSULATION, REUSE EXISTING DRAINS, REPLACE SCUPPERS - NO ADDITIONAL OVERFLOWS INCLUDED. REFER TO SHEETS A6.5 AND A6.6

Mission: We believe every project has a mission and strive to design environments that have a purpose that extend far beyond form and function.

DISTRICT WIDE SCHOOL IMPROVEMENTS

ADMINISTRATION: 21003 INTERSTATE 35 FRONTAGE RD, KYLE, TX 78640

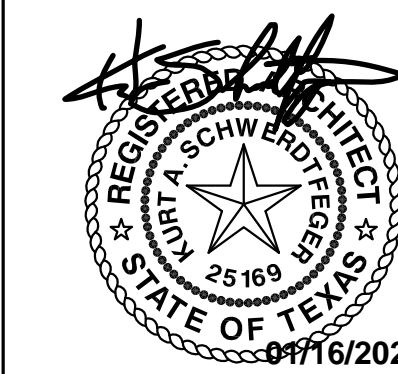
CONTRACT DOCUMENTS - GMP 2

01/15/2024
PACKAGE 6

O'CONNELL ROBERTSON
Austin 811 Barton Springs Road, Suite 900, Austin, Texas 78704 P: 512.478.7441
San Antonio 4040 N. Loop West, Suite 200, San Antonio, Texas 78207 P: 210.487.1535
Houston 1301 Fourn Shreve, Suite 250, Houston, Texas 77002 P: 713.467.1535
© 2024 O'CONNELL ROBERTSON, INC.



HAYS CISD
DISTRICT WIDE SCHOOL IMPROVEMENTS
ADMINISTRATION: 21003 INTERSTATE 35 FRONTAGE RD, KYLE, TX 78640

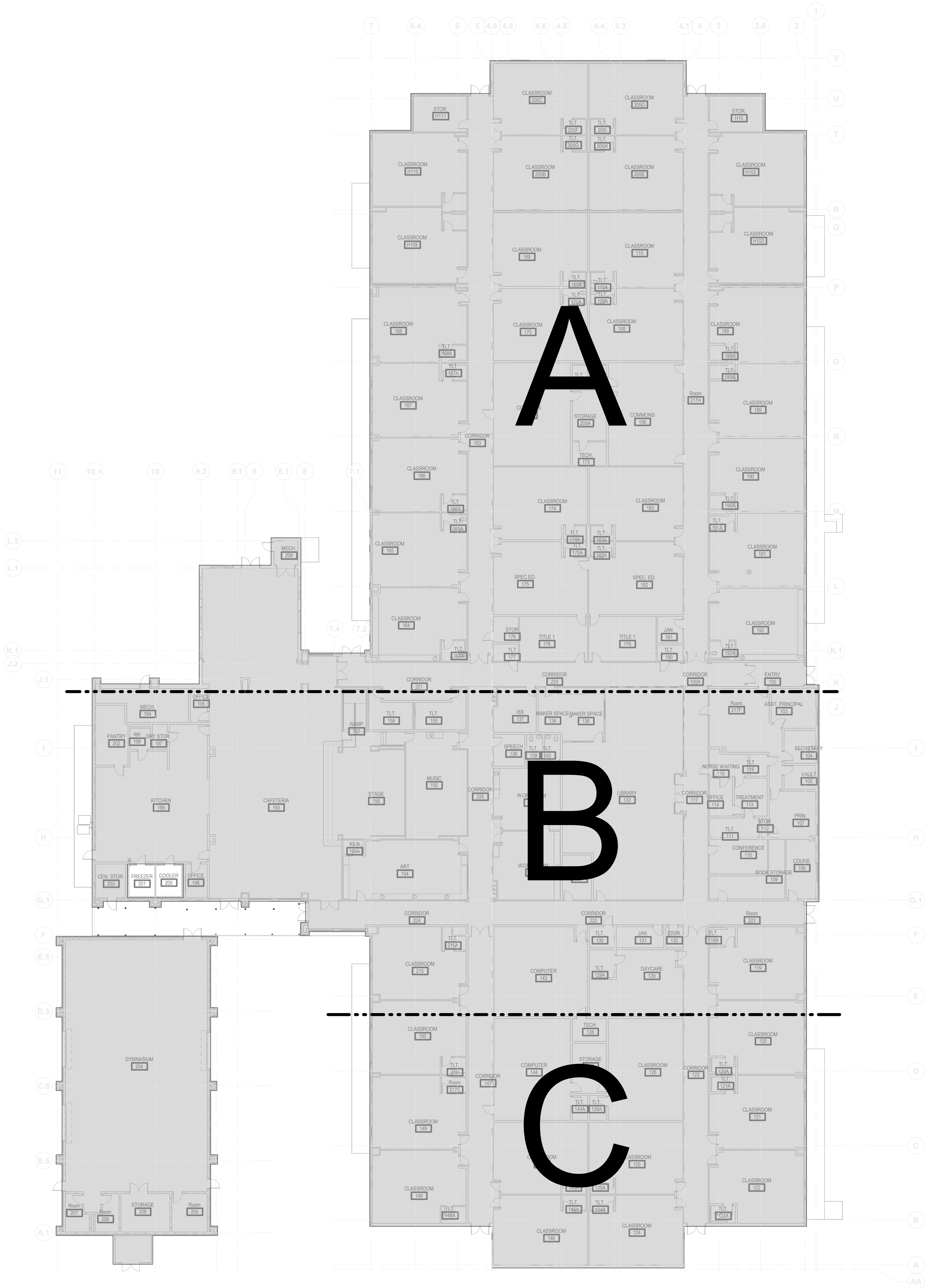


Revisions:

NO. DESCRIPTION DATE

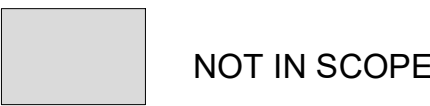
01/15/2024
Project No. 2329.02
CONTRACT DOCUMENTS
- GMP 2

COVER SHEET -
PACKAGE
G0.0

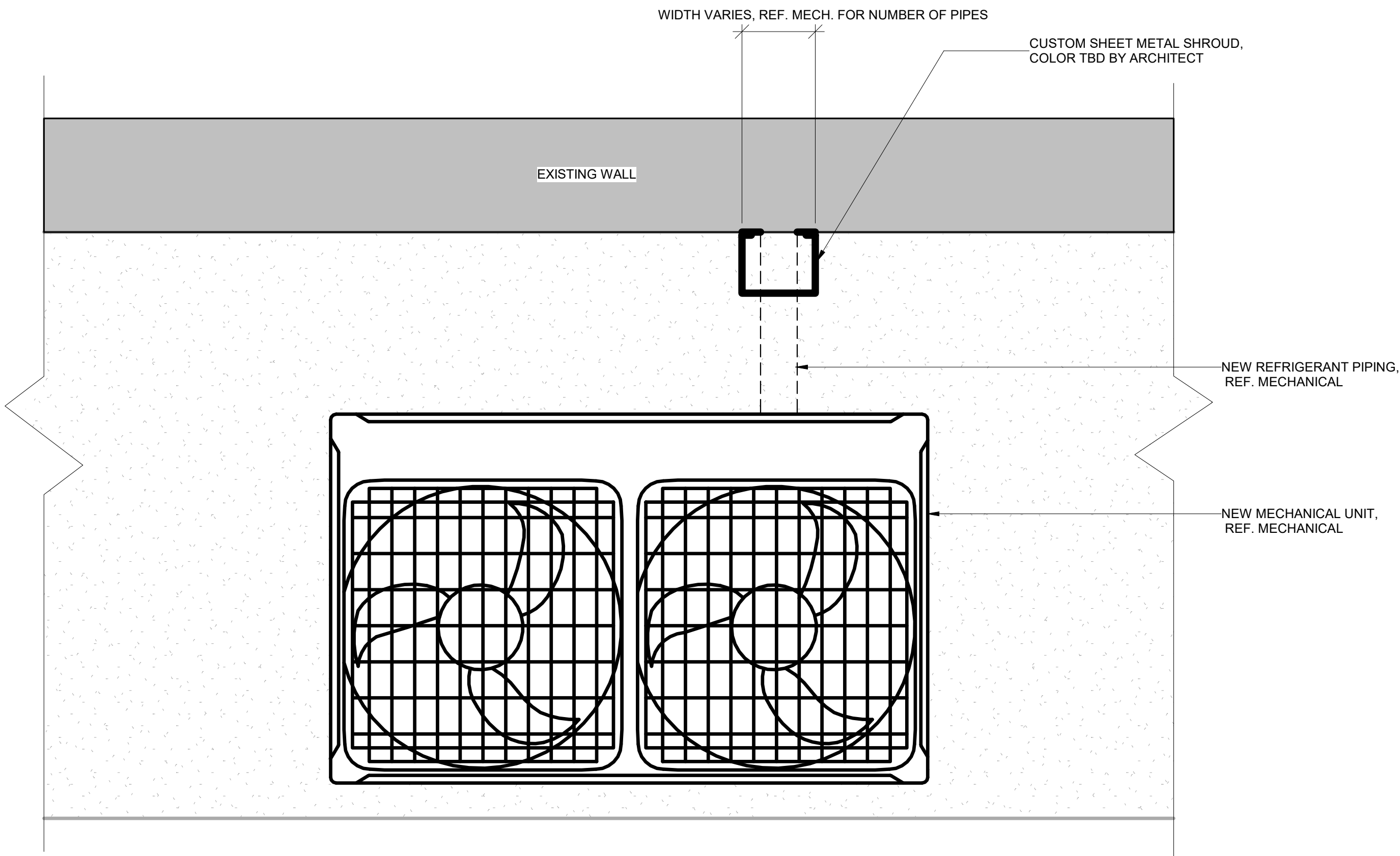


1 COMPOSITE FLOOR PLAN
SCALE: 1" = 20'-0"

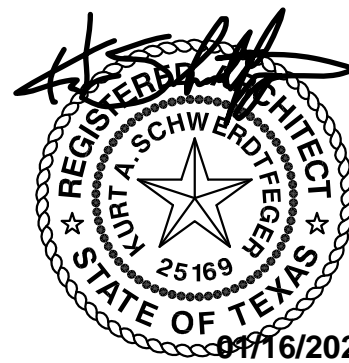
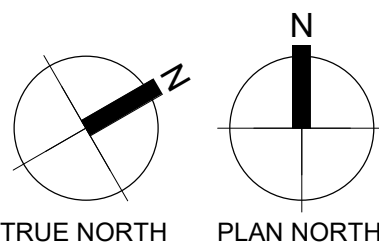
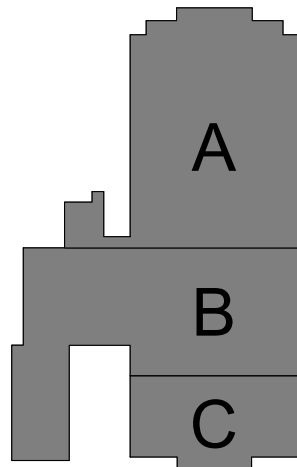
HATCH LEGEND



2 SHROUD DETAIL
SCALE: 1 1/2" = 1'-0"

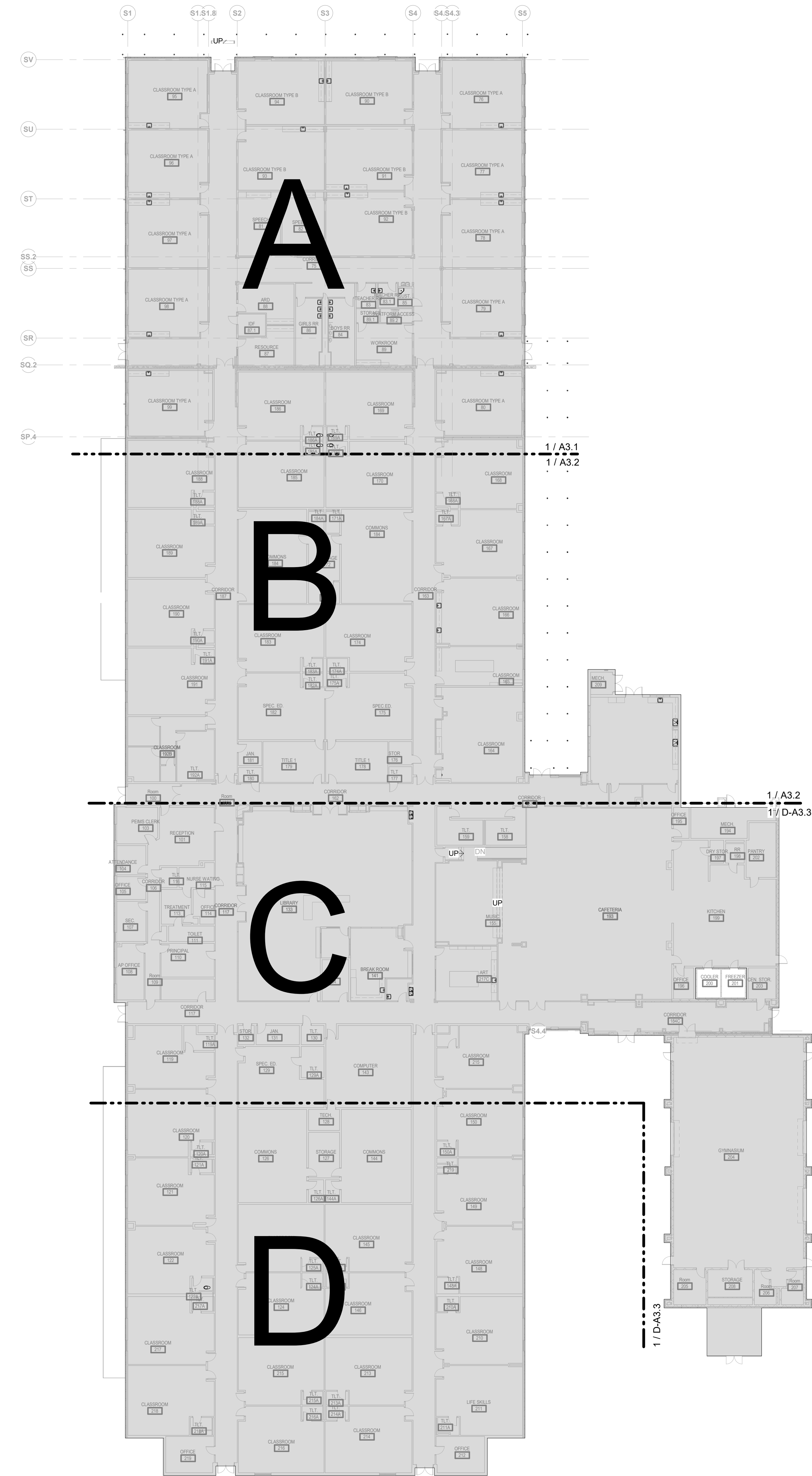


KEY PLAN



Revisions:	
NO.	DESCRIPTION
DATE	

11/15/2024 5:12:23 PM
Autodesk Docs/Hays CISD - Bond Package 6223902_21_Bond Package 6 Elm Grove ES Expansion_Arch.rvt
© 2024 O'CONNELL ROBERTSON, INC.

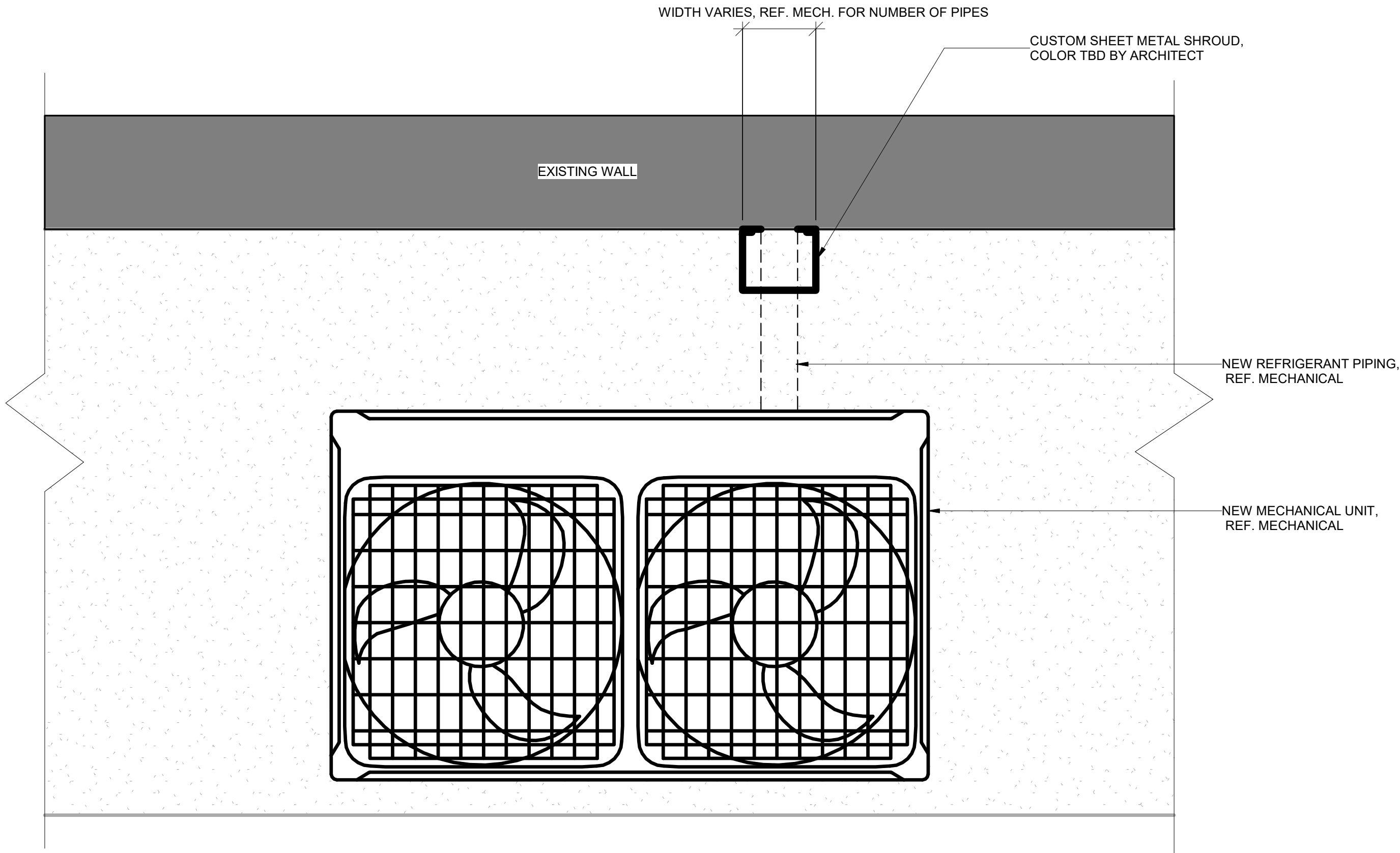


1 COMPOSITE FLOOR PLAN
SCALE: 1" = 20'-0"

HATCH LEGEND

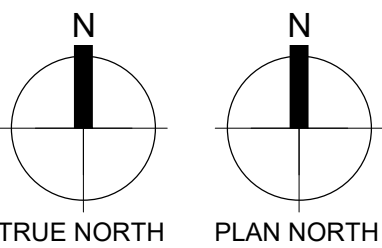
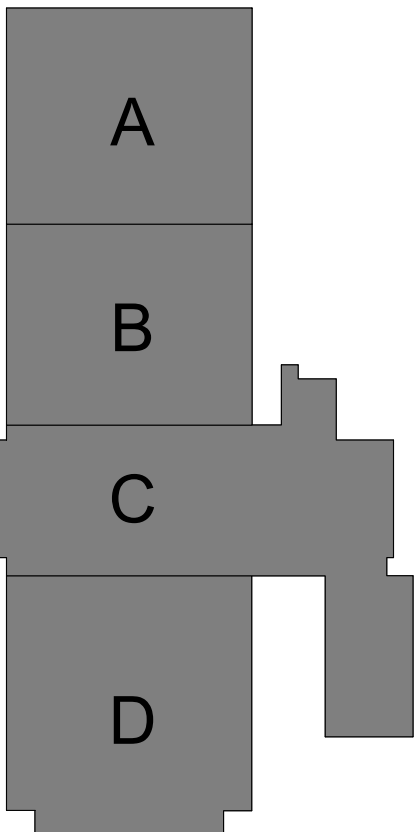


NOT IN SCOPE

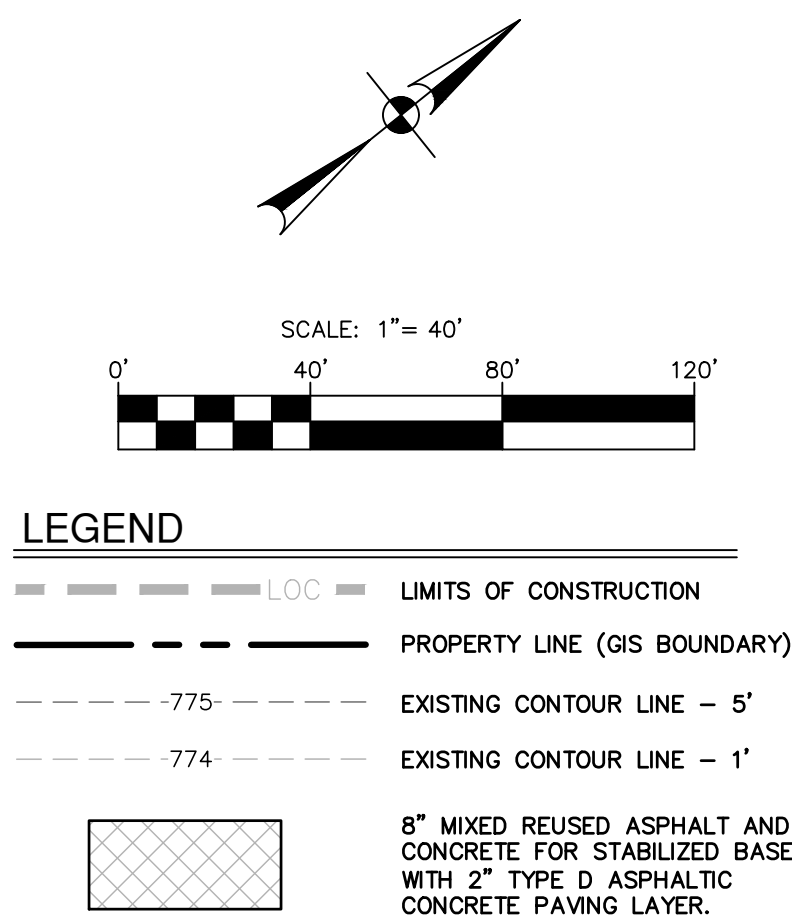
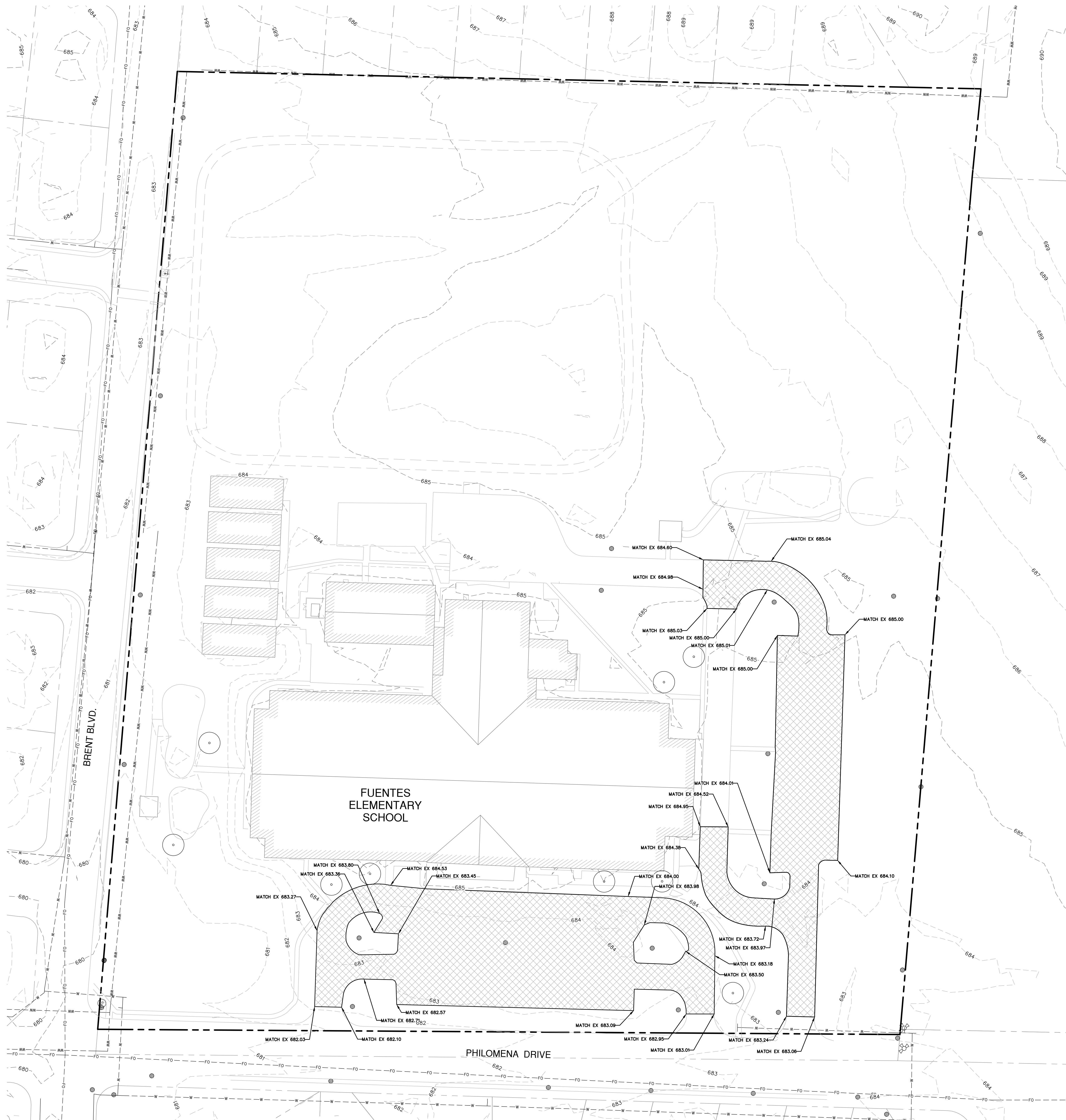


2 SHROUD DETAIL
SCALE: 1 1/2" = 1'-0"

KEY PLAN

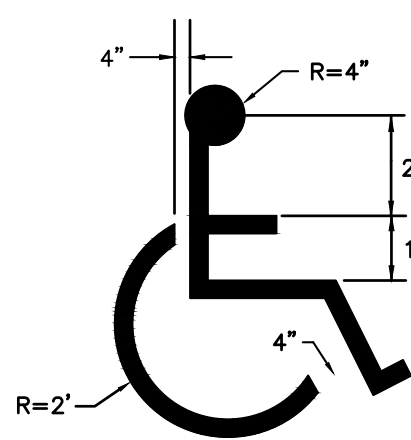


Revisions:	
NO.	DESCRIPTION
DATE	

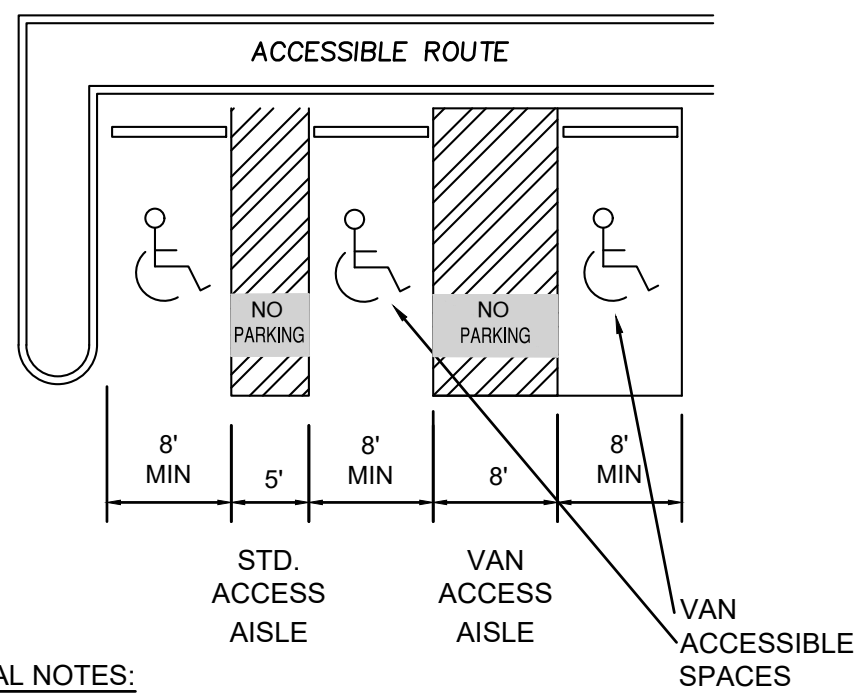


- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
 - CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE-GROUND UTILITIES AND APPURTENANCES IN DRIVE AREAS.
 - ADA GRADING NOTES:
 - SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP [TAS 403.3]
 - THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN. [TAS 405.2, 405.6]
 - ACCESSIBLE ROUTES MUST HAVE A CROSS SLOPE NO GREATER THAN 2%.
 - GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM, AND SLIP RESISTANT. [TAS 302.1]
 - SIDEWALKS AND ACCESSIBLE ROUTES ARE TO BE AT 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE.
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE, AND SLOPE SHALL BE NO MORE THAN 1:21.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
 - NO ABRUPT CHANGE OF GRADE SHALL OCCUR.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED BY THE CONTRACTOR IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND LANDSCAPING PLANS.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM THESE PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AT HIS EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL, OR BETTER, CONDITION ANY DAMAGES INCURRED TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEM).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE REGARDING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
 - CURB ADJACENT TO RAMPS SHALL BE SLOPED TO BE FLUSH WITH RAMP.
 - CONTRACTOR TO MATCH EXISTING CURB AND GUTTER AND GUTTER IN SIZE, GRADE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS. CONTRACTOR TO MATCH GRADES WITH VARIATIONS AS NEEDED TO DRAIN.
 - EXISTING CONTOUR INFORMATION SHOWN IS AT ONE (1) FOOT INTERVALS. THE CONTOURS ARE COMPUTER GENERATED FROM LIDAR DATA FLOWN ON OR ABOUT MARCH 2021.

- NOTES:**
- ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - ALL PAVEMENT MARKINGS SHALL BE PAINTED TWICE.



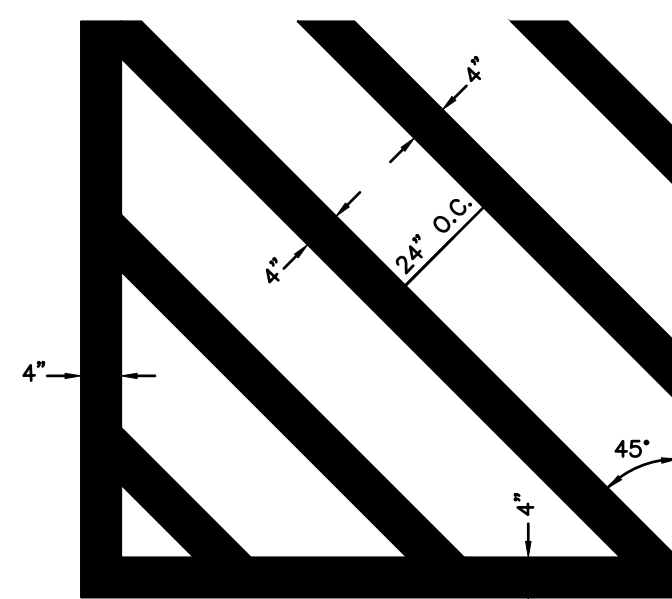
ACCESSIBLE PARKING STALL SYMBOL
NOT-TO-SCALE



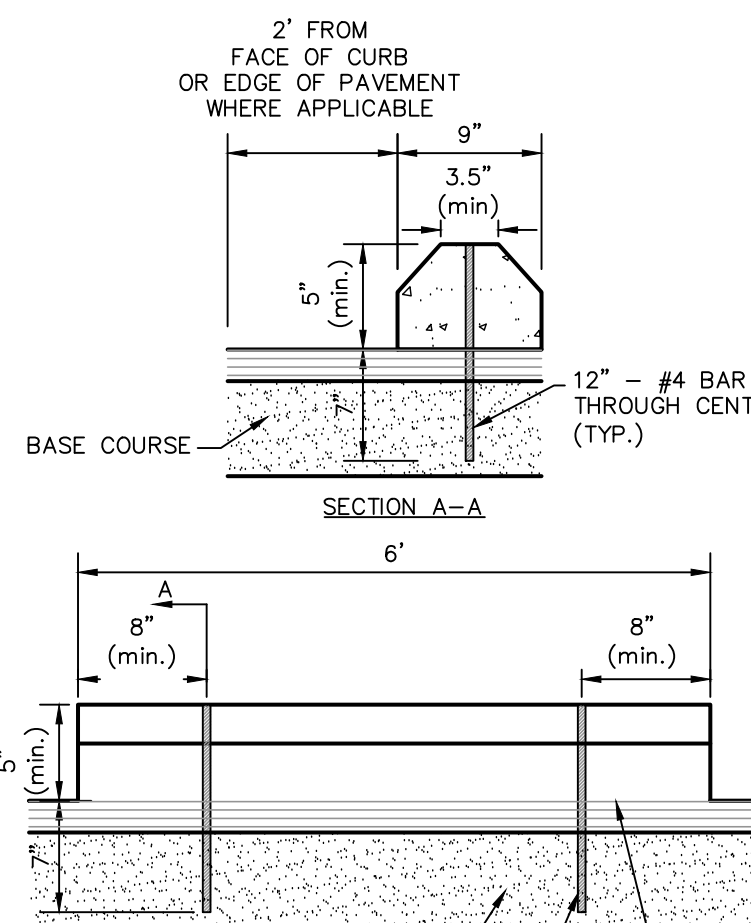
- GENERAL NOTES:**
- EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN CENTERED 5' ABOVE THE PARKING SURFACE. AT THE HEAD OF THE PARKING SPACE, THE SIGN SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
 - STANDARD HANDICAP PARKING SPACES TO BE 9'6" MIN. WIDTH WITH A 6'0" MIN. ACCESS AISLE.
 - VAN ACCESSIBLE SPACES REQUIRED AS PER SECTION 4.1.2 (5)(b) OF THE ADA ACCESSIBILITY GUIDELINES. VAN ACCESSIBLE PARKING SPACES TO BE 9'6" MIN. WIDTH WITH A 9'6" MIN. ACCESS AISLE.

HANDICAP PARKING & ACCESS
N.T.S.

- NOTES:**
- ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - ALL PAVEMENT MARKINGS SHALL BE PAINTED TWICE.



STRIPED ISLAND DETAIL
NOT TO SCALE



WHEEL STOP DETAIL
NOT-TO-SCALE

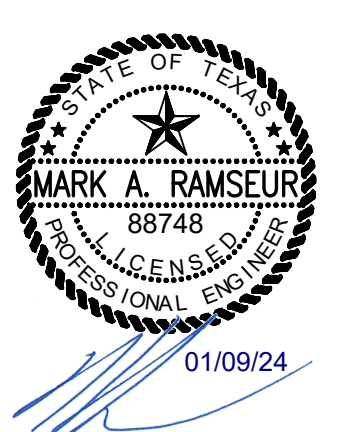
PAPE-DAWSON ENGINEERS

AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
10801 N. MCMURDO, BLDG. 3, STE. 200 | AUSTIN, TX 78758 | 512.476.7441
TYPE FIRM REGISTRATION #402 | TYPE E FIRM REGISTRATION #1028261

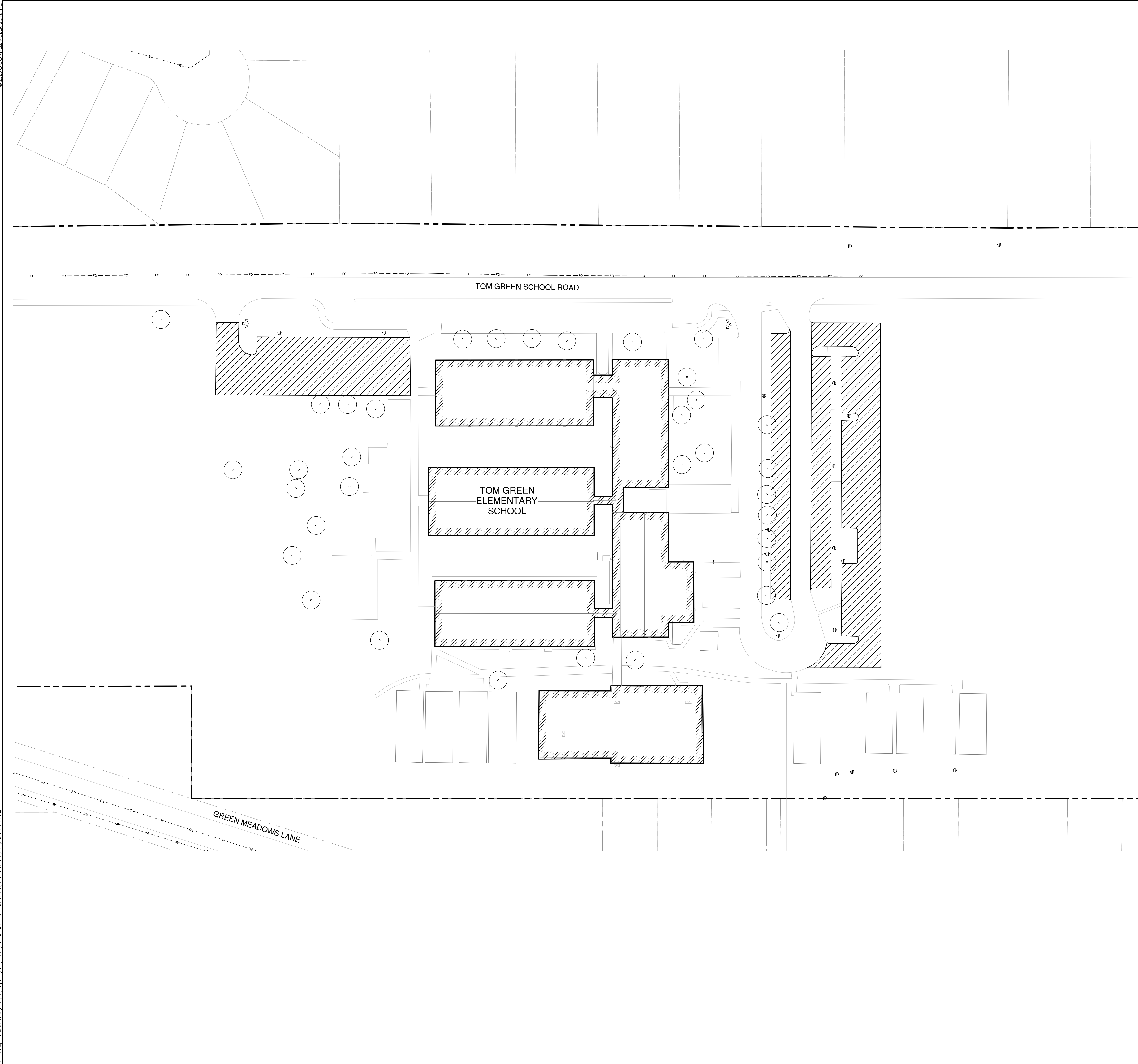


O'CONNELL ROBERTSON
Austin
San Antonio
Houston
811 Barton Springs Road, Suite 100, Austin, Texas 78704 P: 512.476.7864 F: 512.476.7441
4000 Broadway, Suite 300, San Antonio, Texas 78209 P: 210.341.1111 F: 210.341.1111
1301 Fourn St., Suite 250, Houston, Texas 77002 P: 713.627.1555 F: 713.627.1529

HAYS CISD
FUENTES ES SCHOOL IMPROVEMENTS
901 Philomena Dr, Kyle, TX 78640



NO.	DESCRIPTION	DATE
1	01/15/24	Project No. 2329.00
2	01/15/24	CONTRACT DOCUMENTS - GMP 2
3	01/15/24	SITE AND PAVING PLAN



LEGEND

- PROPERTY LINE (GIS BOUNDARY)
- EXISTING WATER LINE
- EXISTING WASTEWATER LINE
- EXISTING UTILITY/LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING TREE TO REMAIN
- DEMOLITION AREA

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL ITEMS SHOWN TO BE DEMOLISHED UNLESS OTHERWISE INDICATED. ALL MATERIALS SHALL BE DEMOLISHED AND REMOVED FROM SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
3. ALL EXISTING ITEMS NOT SPECIFICALLY NOTED TO BE DEMOLISHED SHALL REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE TO REMAIN.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND THAT ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
5. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THROUGHOUT ALL PHASES OF CONSTRUCTION.
6. ALL NECESSARY EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND IN WORKING CONDITION AT ALL TIMES.
7. CONTRACTOR SHALL CONFIRM WITH THE OWNER OR HIS DESIGNATE WHETHER TO SALVAGE AND MAKE ARRANGEMENTS TO STORE TRANSPLANTABLE TREES PRIOR TO REMOVAL.
8. FOR TREES SHOWN TO REMAIN, THE CONTRACTOR SHALL INSTALL TREE PROTECTION IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT REMOVE OR DAMAGE ANY TREES WITHOUT A PERMIT TO DO SO.
9. NO PARKING AND/OR STORAGE SHALL BE ALLOWED WITHIN THE DRIP LINE OF THE TREES TO REMAIN.
10. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTURES; NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
11. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS, BENCH MARKS, CONSTRUCTION STAKES, HUBS, OR OTHER KEY CONTROL POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE.
12. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION.
13. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
14. NO EXISTING ASPHALT OR CONCRETE PAVING SCHEDULED FOR REMOVAL SHALL REMAIN ON-SITE OR BE USED AS FILL MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIAL OFFSITE FOLLOWING ALL APPLICABLE DISPOSABLE REGULATIONS.
15. CONTRACTOR SHALL REMOVE ALL EXISTING IRRIGATION AND PIPING ON SITE, CUT AND CAP LATERALS AT PROJECT LIMITS TO ALLOW PROPER FUNCTION OF ZONES EXTENDING OFF-SITE.
16. CONTRACTOR SHALL NOT DEMOLISH ANY PUBLIC WATER OR SANITARY SEWER LINES WITHOUT APPROVAL. CUT AND CAP ANY ABANDONED SANITARY SEWER AND WATER SERVICES AT THE EXISTING MAIN. NO ABANDONED SERVICES SHALL REMAIN CONNECTED TO THE PUBLIC MAIN.
17. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
18. ALL WASTE MATERIAL REMAINING AFTER OWNER SALVAGE IS COMPLETE AND RESULTING FROM DEMOLITION OPERATIONS BECOMES THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT HIS OWN EXPENSE. OWNER WILL PROVIDE LIST OF ITEMS TO BE SALVAGED.
19. THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
20. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER.
21. THE CONTRACTOR SHALL MEET ALL LOCAL, STATE, AND FEDERAL REGULATIONS FOR DUST CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE AT THEIR OWN EXPENSE FOR ANY FUGITIVE DUST ON ADJACENT PROPERTIES.
22. UNDERGROUND UTILITIES NOT BEING USED FOR THE EXISTING SCHOOL BUILDINGS ON SITE TO BE REMOVED OR DEMOLISHED IN PLACE AS APPROVED BY THE SITE ENGINEER. UTILITY SERVICES, INCLUDING WATER AND WASTEWATER, TO BE CAPPED AT RIGHT-OF-WAY.
23. AFTER DEMOLITION GRADE ALL AREAS TO DRAIN.
24. ALL EXISTING UTILITY POLES TO REMAIN UNLESS OTHERWISE NOTED. FOR TEMPORARY DRY UTILITY INFORMATION AND NEW PROPOSED DRY UTILITIES, REFERENCE MEP SHEETS AND ELECTRICAL SHEETS.
25. CONTRACTOR'S RESPONSIBILITY TO PRESERVE ANY EXISTING TREES. ANY DAMAGE SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPLACE TREES IN KIND.

**PAPE-DAWSON
ENGINEERS**

AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
10801 N. MCMURDO, BLDG 3, STE 200 | AUSTIN, TX 78758 | 512.476.7441
TELEPHONE REGISTRATION #402 | TYPE I FIRM REGISTRATION #10282801

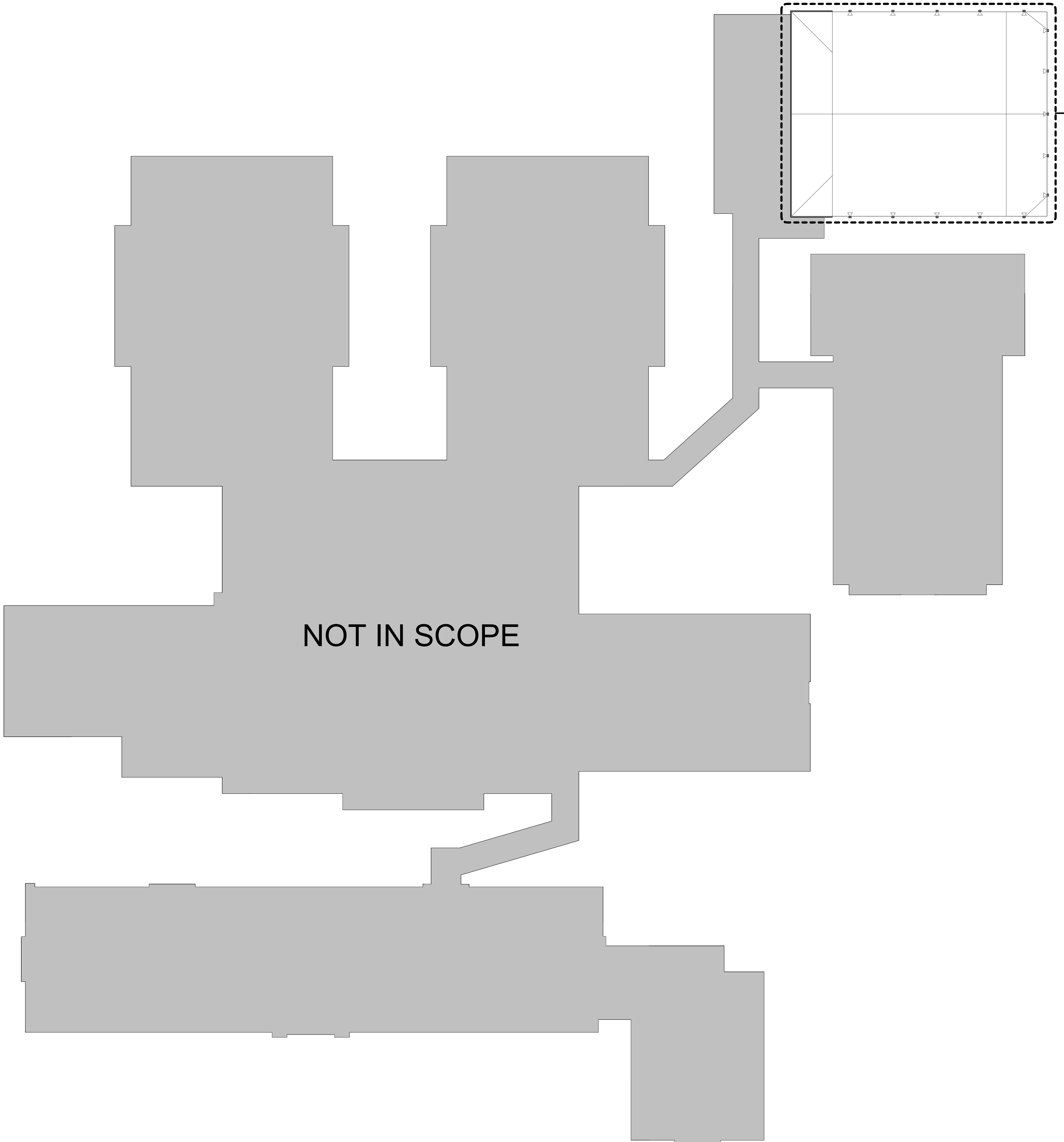


O'CONNELL ROBERTSON
Austin | San Antonio | Houston
811 Barton Springs Road, Suite 100, Austin, Texas 78704
400 Broadway, Suite 300, San Antonio, Texas 78209
1301 Fort Worth Dr., Suite 750, Houston, Texas 77062
P: 512.476.7284 F: 512.476.7441
P: 214.592.4600 F: 214.592.4601
P: 713.467.1555 F: 713.467.1529



Revision:
NO. DESCRIPTION DATE

01/15/24
Project No. 2329.00
CONTRACT DOCUMENTS
- GMP 2
DEMOLITION PLAN



1 COMPOSITE ROOF PLAN
SCALE: 1/16" = 1'-0"

GENERAL ROOF NOTES

1. REFER TO SHEET G-A6.5 FOR TYPICAL ROOF DETAILS.
2. NOT ALL ROOF PENETRATIONS ARE SHOWN ON THE ARCHITECTURAL ROOF PLANS.
3. ALL ROOFING AREAS ARE MODIFIED BITUMINOUS UNLESS NOTED OTHERWISE.
4. MINIMUM SLOPE FOR ROOF IS 1/4" PER 1'-0" UNLESS NOTED OTHERWISE.
5. ALL SADDLES OR CRICKETS ARE FORMED WITH TAPERED INSULATION UNLESS NOTED OTHERWISE.
6. CONTRACTOR TO DEMOLISH EXISTING ROOFING SYSTEM INCLUDING MEMBRANE AND INSULATION DOWN TO EXISTING DECK.

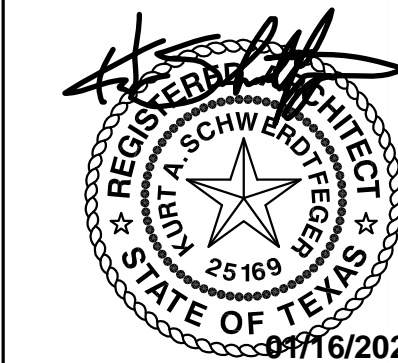
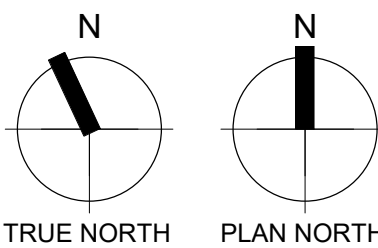
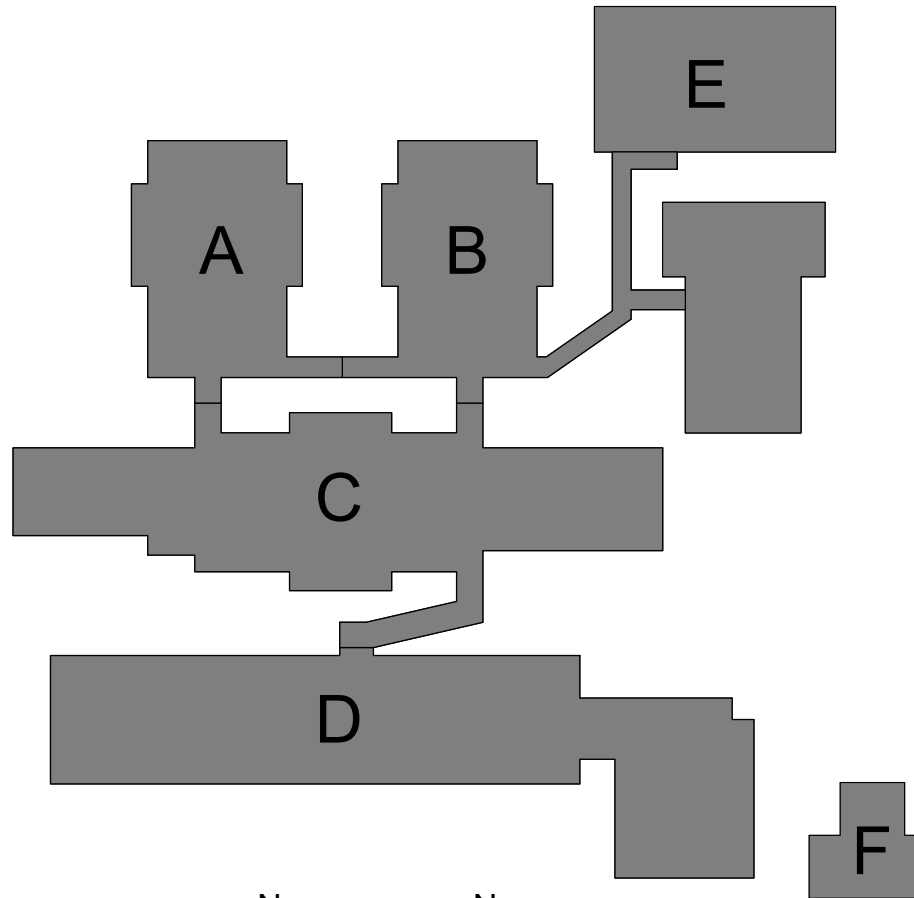
KEYNOTE LEGEND

4. CONTRACTOR TO DEMOLISH EXISTING ROOFING SYSTEM INCLUDING MEMBRANE, INSULATION AND ROOFING CURBS DOWN TO EXISTING DECK. REFER TO DETAILS FOR INFORMATION ON ROOFING SYSTEM BEING REMOVED AT PARAPETS.

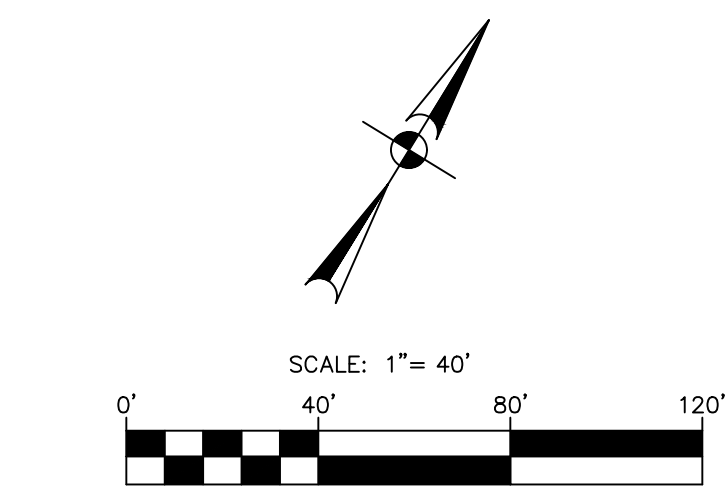
ROOF LEGEND

- NOT IN SCOPE
- ROOF REPLACEMENT

KEY PLAN



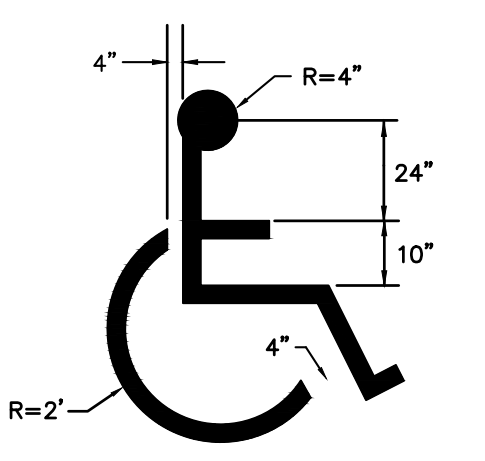
Revisions:		
NO.	DESCRIPTION	DATE
1	PR - 1	Date 2



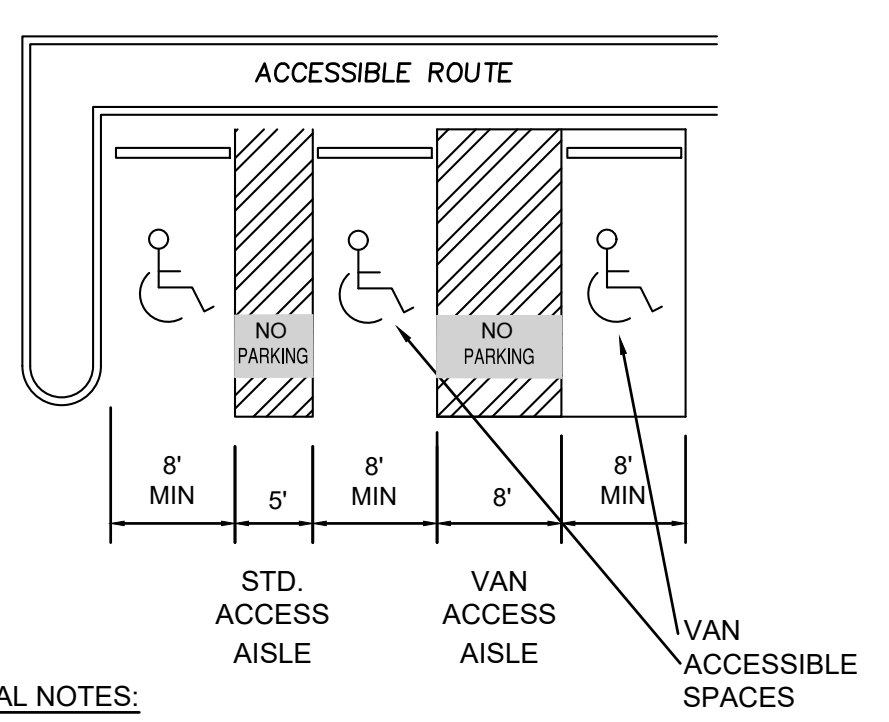
- LEGEND**
- LOC --- LIMITS OF CONSTRUCTION
 - PROPERTY LINE (GS BOUNDARY)
 - 775 --- EXISTING CONTOUR LINE - 5'
 - 774 --- EXISTING CONTOUR LINE - 1'
 - [Hatched Box] 8" MIXED REUSED ASPHALT AND CONCRETE FOR STABILIZED BASE, WITH 2" TYPE D ASPHALTIC CONCRETE PAVING LAYER.

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
 - CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE-GROUND UTILITIES AND APPURTENANCES IN DRIVE AREAS.
 - ADA GRADING NOTES:
 - SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP [TAS 403.3]
 - THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN. [TAS 403.2, 403.6]
 - ACCESSIBLE ROUTES MUST HAVE A CROSS SLOPE NO GREATER THAN 2%.
 - GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM, AND SLIP RESISTANT. [TAS 502.1]
 - SIDEWALKS AND ACCESSIBLE ROUTES ARE TO BE AT 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE.
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE, AND SLOPE SHALL BE NO MORE THAN 12:1.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
 - NO ABRUPT CHANGE OF GRADE SHALL OCCUR.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED BY THE CONTRACTOR IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND LANDSCAPING PLANS.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM THESE PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AT HIS EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL, OR BETTER, CONDITION ANY DAMAGES INCURRED TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEM).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE REGARDING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
 - CURB ADJACENT TO RAMPS SHALL BE SLOPED TO BE FLUSH WITH RAMP.
 - CONTRACTOR TO MATCH EXISTING CURB AND GUTTER AND GUTTER IN SIZE, GRADE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS. CONTRACTOR TO MATCH GRADES WITH VARIATIONS AS NEEDED TO DRAIN.
 - EXISTING CONTOUR INFORMATION SHOWN IS AT ONE (1) FOOT INTERVALS. THE CONTOURS ARE COMPUTER GENERATED FROM LIDAR DATA FLOWN ON OR ABOUT MARCH 2021.
- STRIPING/SIGNAGE NOTES**
- CURB, GUTTERS AND PAVEMENT DELINEATING THE FIRE LANE SHALL BE PAINTED RED WITH FOUR INCH (4") WHITE LETTERING STATING "NO PARKING - FIRE LANE". FIRE LANE - TOW AWAY ZONE, OR SIMILAR WORDING. WORDING MAY NOT BE SPACED MORE THAN THIRTY (30) FEET APART.
 - FIRE APPARATUS ACCESS ROADS SHALL BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR INCH (4") WHITE LETTERS AT 25 FEET (25') INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.
 - ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT UNLESS NOTED OTHERWISE. WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS. REFERENCE DETAIL SHEET FOR STRIPED ISLANDS.
 - ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
 - ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION.
 - CONTRACTOR TO RE-STRIPE TO MATCH PRE-CONSTRUCTION CONDITIONS.

- NOTES:**
- ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - ALL PAVEMENT MARKINGS SHALL BE PAINTED TWICE.

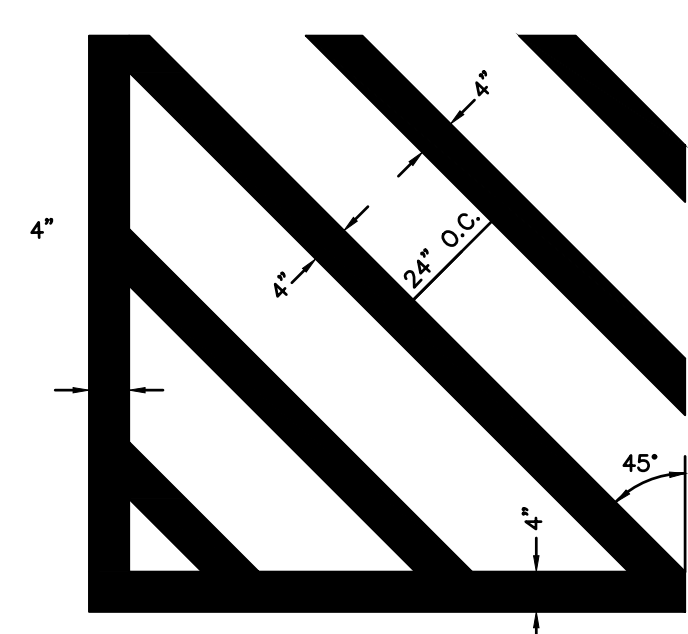


ACCESSIBLE PARKING STALL SYMBOL
NOT-TO-SCALE

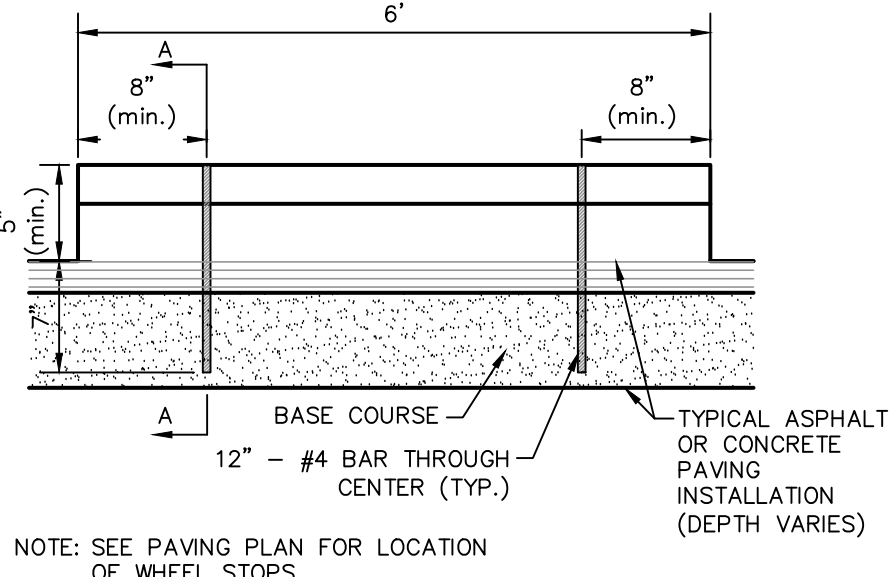
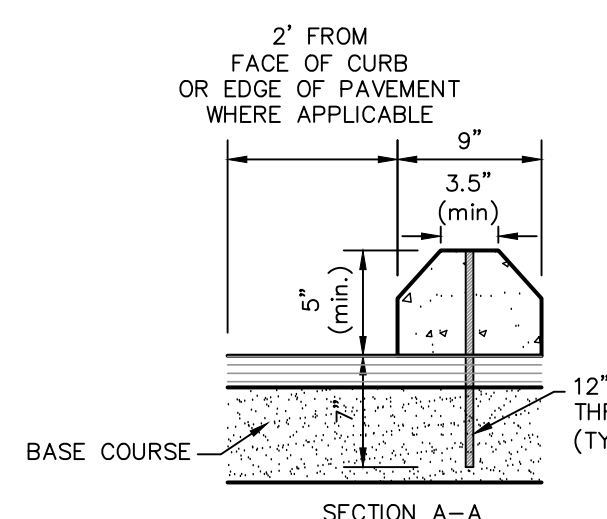


- GENERAL NOTES:**
- EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN CENTERED 5' ABOVE THE PARKING SURFACE. AT THE HEAD OF THE PARKING SPACE. THE SIGN SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
 - STANDARD HANDICAP PARKING SPACES TO BE 96" MIN. WIDTH WITH A 60" MIN. ACCESS AISLE.
 - VAN ACCESSIBLE SPACES REQUIRED AS PER SECTION 4.1.2 (5)(b) OF THE ADA ACCESSIBILITY GUIDELINES. VAN ACCESSIBLE PARKING SPACES TO BE 96" MIN. WITH A 96" MIN. ACCESS AISLE.

HANDICAP PARKING & ACCESS
N.T.S.



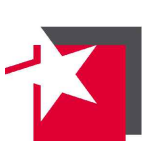
STRIPED ISLAND DETAIL
NOT TO SCALE



WHEEL STOP DETAIL
NOT-TO-SCALE

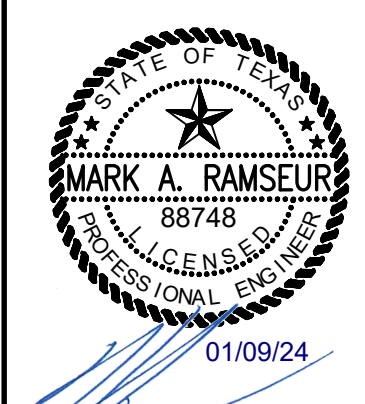
PAPE-DAWSON ENGINEERS

AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
10801 N. MOORE, SUITE 200, AUSTIN, TX 78753 | 512.478.7441
TYPE FIRM REGISTRATION #01028001



O'CONNELL ROBERTSON
Austin | San Antonio | Houston
811 Barton Springs Road, Suite 100, Austin, Texas 78704
400 Broadway, Suite 300, San Antonio, Texas 78209
1301 Fourn St., Suite 250, Houston, Texas 77002
P: 512.478.7286 F: 512.478.7441
P: 210.425.1100 F: 210.425.1101
P: 713.867.1555 F: 713.867.1529

HAYS CISD
PFLUGER ES IMPROVEMENTS
4951 Marsh Ln, Buda, TX 78610



NO.	DESCRIPTION	Revision:
		DATE
		01/15/24
	Project No. 2329.00	
	CONTRACT DOCUMENTS - GMP 2	
	SITE AND PAVING PLAN	



SCALE: 1/16" = 1'-0"

H-M3.1